

# HUNTERS®

HERE TO GET *you* THERE



## Ealees

Littleborough, OL15 0HJ

Offers In Excess Of £280,000



- UNIQUE, CHARACTER PROPERTY
- SUPERB VIEWS FROM MOST ROOMS
- THREE BEDROOMS
- VIEWING HIGHLY RECOMMENDED
- COUNCIL TAX BAND D

- FORMER LOCK KEEPERS COTTAGE
- IDYLLIC RURAL LOCATION YET CENTRAL TO LITTLEBOROUGH
- MANY ATTRACTIVE FEATURES
- EPC RATING E
- FREEHOLD

Tel: 01706 390 500

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Rarely does a property of this nature come onto the local market! Believed to date back to the mid 19th century, when it was built as a Lock Keepers Cottage, the property enjoys an idyllic location to be able to enjoy the passing barge boats as they work their way through the lock and meander their way down the canal. The property has been carefully restored over recent years, and is only a matter of a few hundred yards from Littleborough station and village centre. The accommodation, which is over three levels, has a wealth of charm and character and briefly comprises lounge, dining room, newly installed kitchen, conservatory, three bedrooms, modern, newly installed shower room and a beautiful canal side garden. Superbly presented both inside and out, we recommend this property for an early viewing, especially to those looking for something just that little bit different or it would make a fabulous holiday home!

\*\*Please note there is no direct parking next to the property, the current owners rent a garage and potentially this licence can be offered to the prospective purchaser on a monthly rolling contract, terms and conditions apply. \*\*

### Lounge

18'8" x 15'4" (5.69 x 4.69)

A superb, large lounge with feature brick fireplace and tiled hearth with a fitted multi fuel stove installed, creating a wonderful focal point to the room, the beamed ceiling adds character and charm.

### Kitchen

10'5" x 7'6" (3.20 x 2.29)

Newly installed kitchen with a range of fitted base and wall units including oven and hob with extractor fan, integrated fridge, freezer and microwave, inset sink unit, complementary tiling to walls and tiled floor, plumbing for automatic washing machine.

### Conservatory

10'9" x 7'11" (3.28 x 2.43)

With exposed stone work and tiled floor. A lovely additional room which is so idyllic to be able to sit and enjoy the passing barge boats work their way through the lock.

### Lower Ground Floor Dining Room

24'6" x 13'1" (7.47 x 3.99)

A large attractive room which can also accommodate an additional sitting area, with exposed stone wall and stone mullioned windows.

### Storage room

10'5" x 7'6" (3.20 x 2.29)

Currently used as storage and housing the gas central heating boiler which was installed in 2015.

### First Floor Landing

With access to the three bedrooms and the shower room.

### Bedroom 1

11'8" x 10'7" (3.56 x 3.24)

Light and bright well presented double bedroom with beamed ceiling.

### Bedroom 2

13'5" x 8'7" (4.10 x 2.62)

A second double bedroom , tastefully decorated with the added benefit of fitted wardrobes.

### Bedroom 3

12'0" x 7'11" (3.68 x 2.42)

Good size single / small double bedroom.

### Shower Room

13'6" x 5'3" (4.12 x 1.62)

Newly installed quality shower room with a walking shower, wash hand basin and WC, fully tiled walls and floor with a useful built in storage cupboard, and access to loft space.

### External

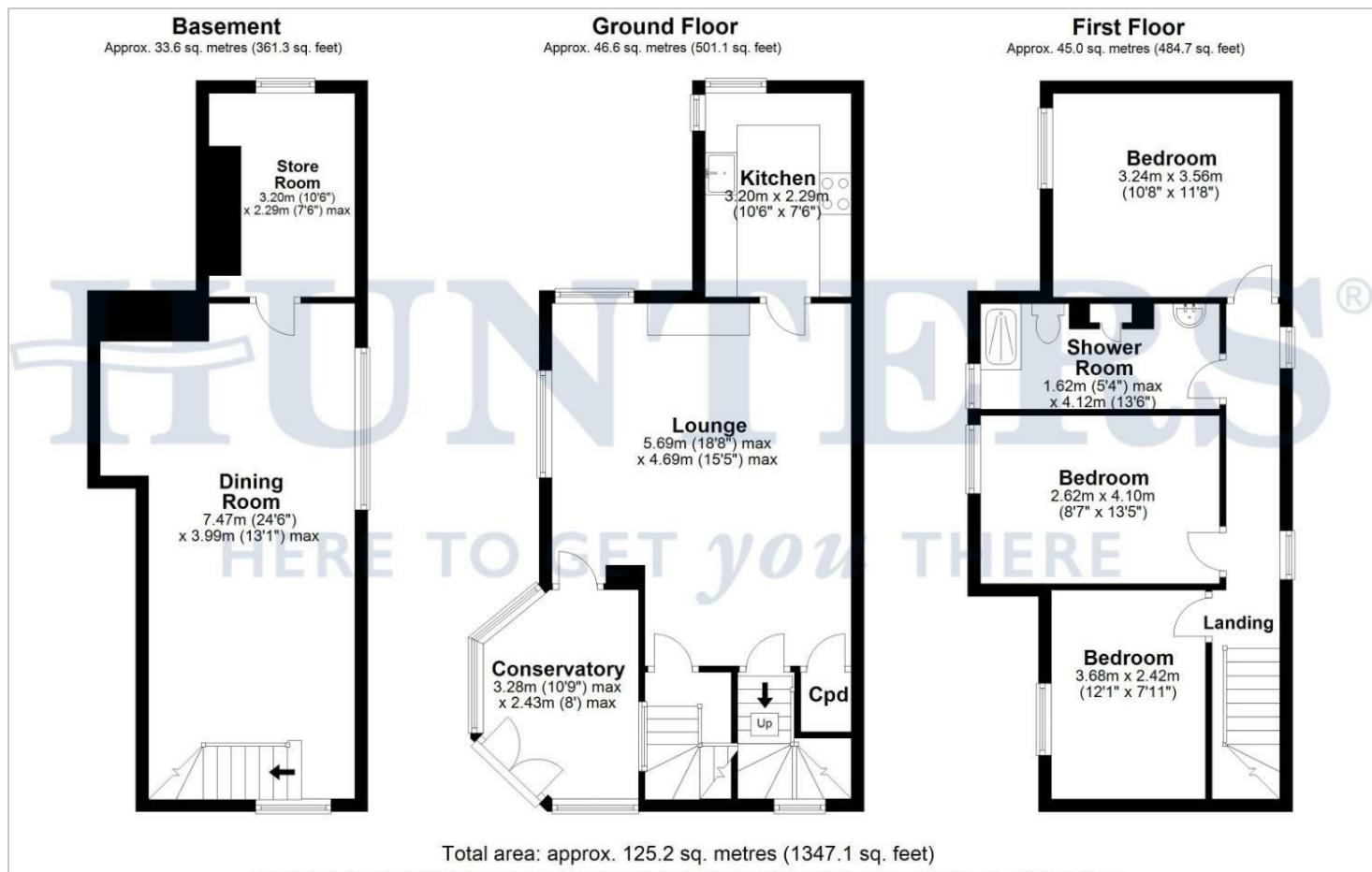
The property enjoys a lawn garden area adjacent to the canal towpath, with cobbled pathway and seating area. With mature borders, fences and a garden shed.

### Material Information - Littleborough

Tenure Type; FREEHOLD

Council Tax Banding; ROCHDALE COUNCIL BAND D

## Floorplan





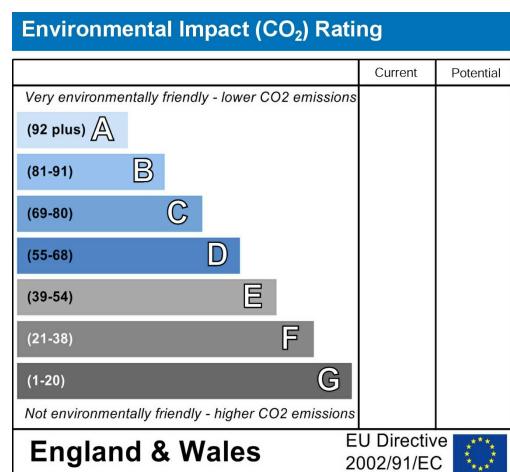
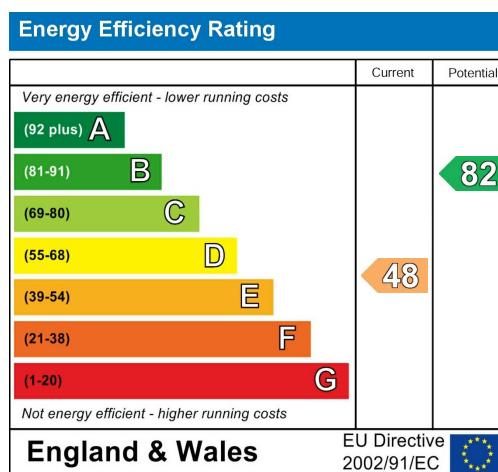
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### Energy Efficiency Graph



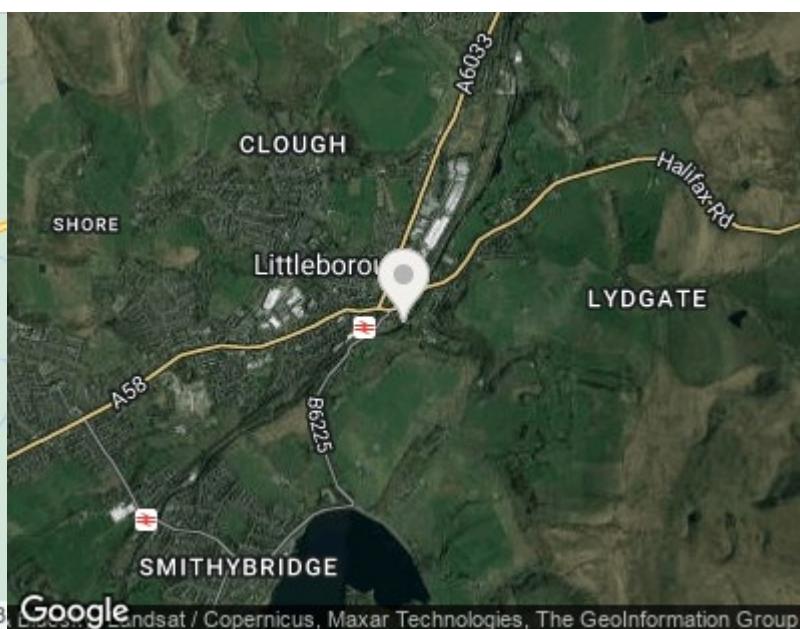
### Viewing

Please contact our Hunters Littleborough Office on 01706 390 500 if you wish to arrange a viewing appointment for this property or require further information.

Road Map



Hybrid Map



Map data ©2023

Google

Landsat / Copernicus, Maxar Technologies, The GeoInformation Group





These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate. **THINKING OF SELLING?** If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.

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